

## ARTICLE 5. CONTENTS OF PRELIMINARY AND FINAL PLATS

**100** **Contents of Preliminary Plat.** The preliminary plat shall be drawn at a scale of not less than one inch equals 100 feet; however, areas over 100 acres may be at a scale of one inch equals 200 feet.

A. **General Information.** The following general information shall be shown on the preliminary plat:

1. Proposed name of the subdivision not duplicating or resembling the name of any plat heretofore recorded within the area of jurisdiction of these regulations. The use of the word "Addition" should be used for a plat which has just been or is in the process of being annexed and not for the subdivision of land already in the City, which shall instead substitute the word "Subdivision."
2. Date of preparation, north point and scale of drawing.
3. An identification clearly stating that the drawing is a preliminary plat.
4. Location of the subdivision by quarter section, section, township and range and by measured distances to a section corner to further define the location and boundary of the tract.
5. Names of adjacent subdivisions or, in the case of unplatted land, the name of the owner or owners of adjacent property.
6. The name and address of the landowner, the subdivider and the name and seal of the land planner who prepared the plat and surveyor who did the topographic survey.

B. **Existing Conditions.** The following existing conditions shall be shown on the preliminary plat:

1. The location, right-of-way, width, and names of all existing public or private streets within or adjacent to the tract, together with easements, railroad rights-of-way and other important features such as section lines and corners, city and township boundary lines and monuments.
2. The horizontal location within the subdivision and the adjoining streets and property of existing sanitary and storm water sewers including flow lines, water mains, culverts, catch basins, manholes, fire hydrants, underground wiring, pipe lines and gas lines proposed to serve the subdivision.

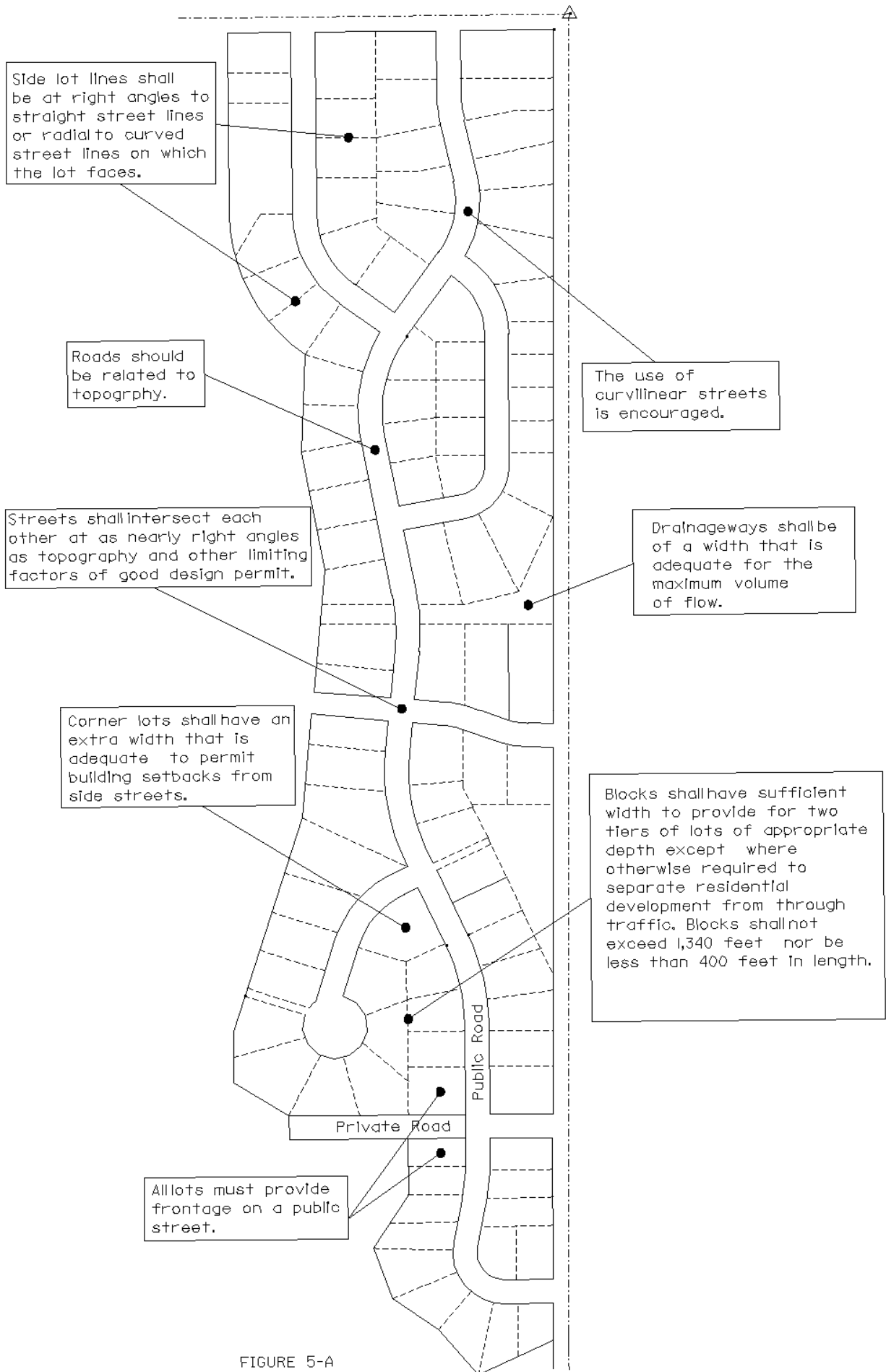
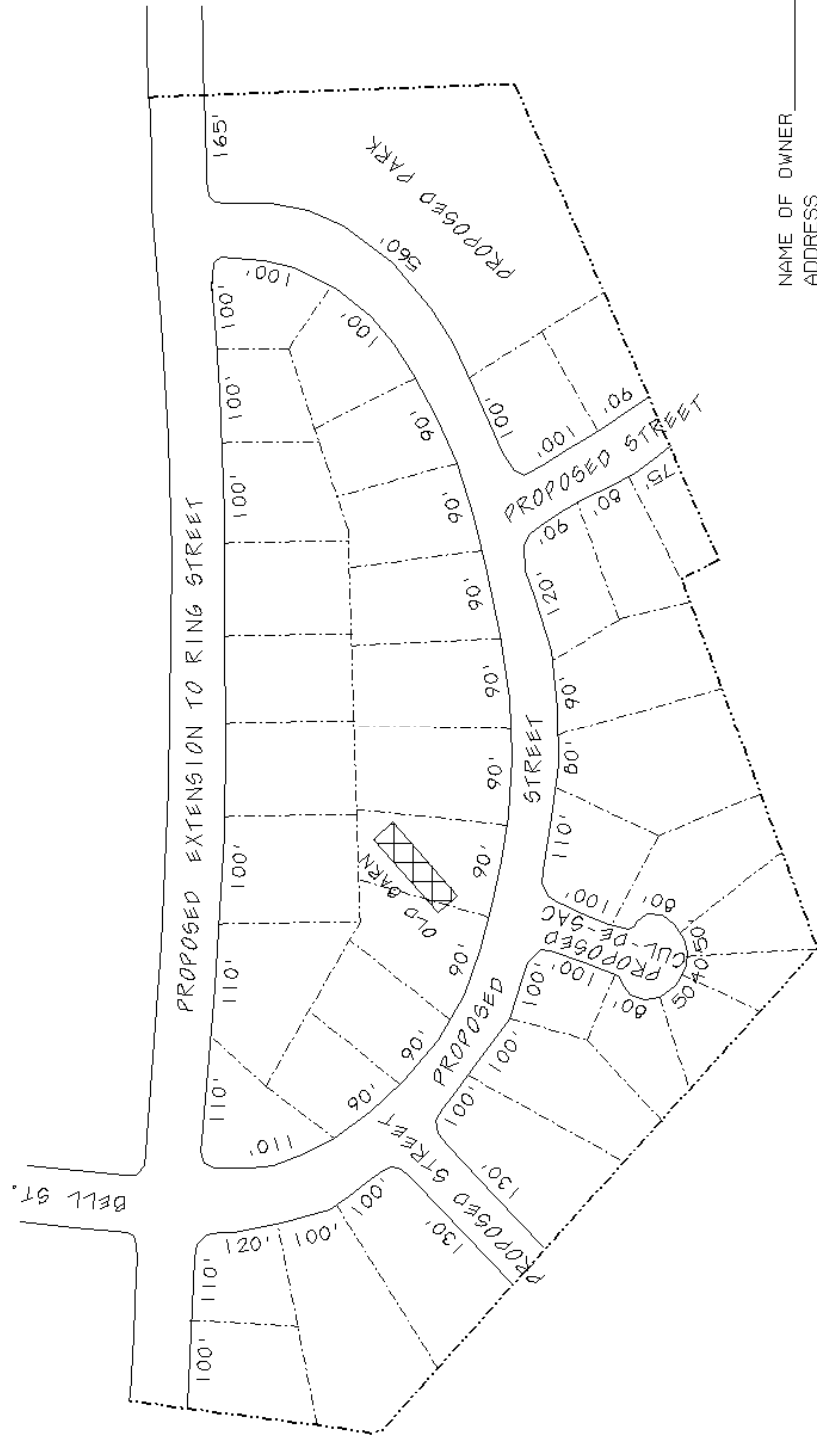


FIGURE 5-A

SUBDIVISION LAYOUT CONSIDERATIONS



- AVAILABLE UTILITIES
- 8" SANITARY SEWER - 12' DEEP
  - 30" STORM SEWER IN RING STREET
  - 6" WATER LINE IN RING STREET
  - 6" KPL GAS LINE 130' SOUTH OF RING ST.
  - ELECTRIC / TELEPHONE / CABLE TV POLES ON WEST SIDE OF RING STREET

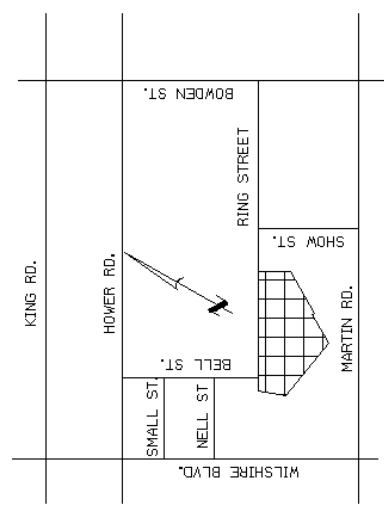


FIGURE 5-B  
TYPICAL SKETCH PLAN

NAME OF OWNER \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 TEL. NO. \_\_\_\_\_  
 NAME OF SUBDIVIDER \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 TEL. NO. \_\_\_\_\_  
 NAME OF ENGINEER \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 TEL. NO. \_\_\_\_\_

CRAZY ACRES ADDITION  
 TO THE CITY OF McPHERSON

North

SCALE:  
 1" = 100'

3. Contour lines or spot elevations based on Mean Sea Level (MSL) or other datum approved by the Planning Commission having the following intervals:
  - a. Two foot contour intervals for ground slopes less than 10%.
  - b. Five foot contour intervals for ground slopes exceeding 10%.
  - c. Spot elevations where the ground is too flat for contours.

The date of the topographic survey shall be shown including the location, elevation and description of the bench mark controlling the vertical survey. FEMA approved benchmarks shall be used if any portion of the area being platted lies within a designated floodplain. DATUM shall be the same as the currently adopted Flood Insurance Rate Map (FIRM).

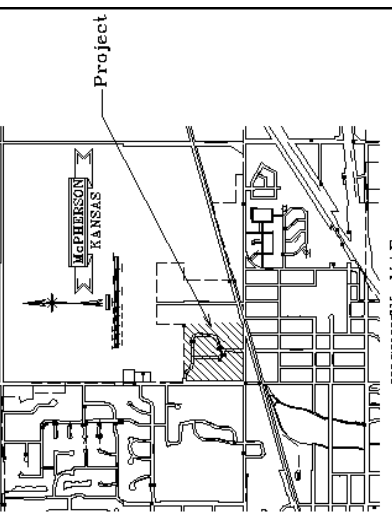
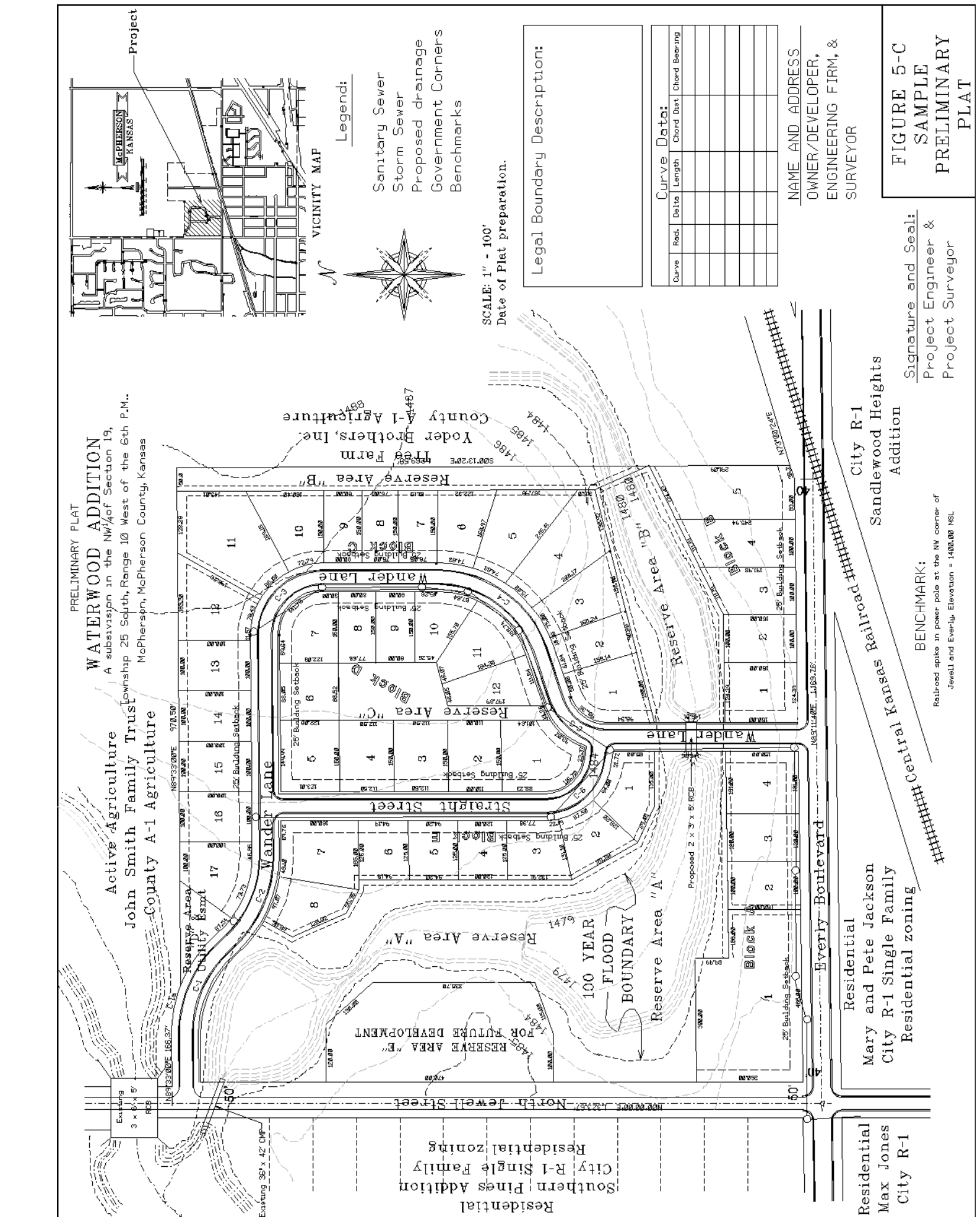
4. Locations of existing monuments or survey markers used in preparation of the survey.
  5. The location and direction of all watercourses and areas subject to flooding as determined by Section 6-104.
  6. Significant natural features including, but not limited to rock outcroppings, wetlands, lakes and wooded areas.
  7. Existing use of the property including the location of all existing structures showing those that will be removed and those that will remain on the property after the final plat is recorded.
  8. Boundary line of proposed subdivision clearly indicated and total acreage therein.
  9. Zoning district classifications on and adjacent to the tract, if any.
- C. Proposed Subdivision Plat. The following information with respect to the manner in which the tract is to be subdivided and developed shall be included on the preliminary plat:
1. Streets showing the location, right-of-way, width, names and approximate grades thereof. The preliminary plat shall show the relationship of all streets to any projected streets shown or to any related Comprehensive Plan proposal or, if none proposed, then as determined by the Planning Commission.
  2. Street names which do not duplicate any heretofore used in the City or its environs, unless the street is an extension of or in line with an already named street, in which event that name shall be used. Appropriate prefixes and suffixes which provide relative direction and type of street should accompany such names. Street names shall be subject to the

approval of the Planning Commission and follow the applicable City or County Street Naming and Property Numbering Policy, **as adopted**. Property numbers are assigned by the City or County depending upon the agreed upon jurisdictional policy.

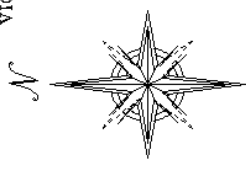
3. Easements showing width and purpose such as for utilities, drainage, screening, open space, pedestrian ways and alleys.
4. Location and type of utilities to be installed including provisions for storm water drainage.
5. Lots showing approximate dimensions, minimum lot sizes and proposed lot numbers and block letters or numbers.
6. Sites, if any, to be allocated for development with other than single-family dwellings or to be dedicated or reserved for park, recreation area, open space or other public or private purposes. (See Section 2-102 for definition of RESERVE.)
7. Proposed street side building setback lines, if any, but not less than applicable zoning regulations. The setback should be measured from the existing or proposed street right-of-way, whichever is a greater distance.

D. Additional Data and Information to be Submitted with the Preliminary Plat. The following information shall be submitted in separate statements and/or drawings accompanying the preliminary plat, or, if practical, such information may be shown on the preliminary plat:

1. A vicinity map showing existing subdivisions, streets and unsubdivided tracts and drainage ways adjacent to the proposed subdivision and showing the manner in which the proposed streets may be extended to connect with existing streets.
2. A statement as to the nature and type of improvements proposed for the subdivision, and in what manner the subdivider intends to finance and guarantee their installation, e.g., petition, actual construction, monetary guarantee, etc. (See Section 7-103 for guarantees for installation of improvements.)
3. A drainage report for the full-preliminary plat area in accordance with the requirements of the currently adopted "*Stormwater Management Policies and Design Criteria for the City of McPherson, Kansas*." Copies of this document are available from the City Public Works Department or may be downloaded from the City website at: [www.mcpcity.com](http://www.mcpcity.com).



- Legend:**
- Sanitary Sewer
  - Storm Sewer
  - Proposed drainage
  - Government Corners
  - Benchmarks



**Legal Boundary Description:**

Curve Data:			
Curve	Rad.	Delta	Chord Bearing

**NAME AND ADDRESS**  
OWNER/DEVELOPER,  
ENGINEERING FIRM, &  
SURVEYOR

**FIGURE 5-C**  
**SAMPLE**  
**PRELIMINARY**  
**PLAT**

**PRELIMINARY PLAT**

**WATERWOOD ADDITION**

A subdivision in the NW 4 of Section 19,  
Township 25 South, Range 10 West of the 6th P.M.,  
McPherson, McPherson County, Kansas

Active Agriculture  
John Smith Family Trust  
County A-1 Agriculture

Residential  
Southern Pine's Addition  
City R-1 Single Family  
Residential zoning

Yoder Brothers, Inc.  
Tree Farm

Residential  
Mary and Pete Jackson  
City R-1 Single Family  
Residential zoning

Residential  
Max Jones  
City R-1

Residential  
Mary and Pete Jackson  
City R-1 Single Family  
Residential zoning

City R-1  
Sandelewood Heights  
Addition

**101 Contents of Final Plat.** The final plat shall be prepared by a licensed land surveyor and drawn or plotted in waterproof black ink on Mylar or its equivalent. Alternatively, a final plat may be prepared with a photographic process provided it is submitted on .004 inch polyester photographic film such as Mylar or its equivalent. The permitted page sizes shall be 24 inches by 36 inches or smaller. Larger sizes will not be accepted. The scale shall be not less than 100 feet to one inch except that a variation in scale may be allowed where the Planning Commission determines it is necessary for a proper exhibit of the subdivision. When more than one sheet is used for any plat, each such sheet shall be numbered consecutively and each such sheet shall contain a notation showing the whole number of sheets in the plat and its relation to other sheets (e.g., Sheet 1 of 3 ). Linear dimensions shall be given in feet and decimals of a foot. Additionally, each plat shall be submitted in electronic form in the Adobe PDF format with attached geospatial attributes. Point of Beginning coordinates and initial bearing may be obtained from the City Public Works Department if the project surveyor does not have GPS capability.

The final plat shall show on the face thereof:

- A. The name of the subdivision followed by a reference to its location by quarter section, section, township and range.
- B. The date of preparation, scale, north point, legend and controlling physical features, such as highways, railroads, watercourses and areas subject to flooding as determined by Section 6-104.
- C. Legal description of the tract boundaries. (See Section 5-101Q1 for land surveyor's certificate and description.)
- D. Reference ties to previous surveys and plats, as follows: (See Section 7-102J for monuments as required improvements.)
  1. Distance and direction to the monuments used to locate the land described in the certificate of survey.
  2. The location of all other monuments required to be installed by these regulations. (See Section 7-102J)
- E. Location and elevation of permanent bench mark. (See Section 7-102J)
- F. Tract boundary, block boundary, street and other right-of-way lines with distances and angles (and/or bearings). Where these lines follow a curve (all curves must be circular), the central angle, the radius, points of curvature, length of curve and length of intermediate tangents shall be shown. Error of closure of the perimeter survey shall not exceed one foot for each 10,000 feet.
- G. Lot lines with dimensions. Side lot lines shall be at right angles or radial to street lines unless otherwise shown. Rear lot lines shall be parallel to block or

tract lines unless otherwise indicated. Points of deflection of rear lot lines shall be indicated by angles and distances.

- H. Lot numbers beginning with number one and numbered consecutively in each block.
- I. Block letters or numbers continuing consecutively without omission or duplication throughout the subdivision. Such identification shall be solid, of sufficient size and thickness to stand out, and so placed as not to obliterate any figure.
- J. All easements shall be denoted by fine dashed lines, clearly identified and, if already on record, the recorded reference of such easements. If an easement is not definitely located of record, a statement of such easement shall be included. The width of the easement with sufficient ties to locate it definitely with respect to the subdivision must be shown and its purpose such as for utilities, drainage, screening, open space, pedestrian ways or alleys. If the easement is being dedicated through the plat, it shall be properly referenced in the owner's certificate and dedication.

NOTE: The remainder of Section "J" is quoted directly from the "*Stormwater Management Policies and Design Criteria for the City of McPherson, Kansas.*" Copies of this document are available from the City Public Works Department or may be downloaded from the City website at: [www.mcpcity.com](http://www.mcpcity.com).

Final plats shall dedicate the proper type and size of drainage easement as necessary to meet the requirements defined by the preliminary plat drainage report. An easement will be required whenever any of the following situations exist:

- Concentrated offsite drainage is conveyed through the development.
- Onsite drainage generates a 100-year storm flow which equals or exceeds 100 cfs, or
- Any public storm drainage system discharges into the plat area.

Easements must be defined on the plat as follows:

- Channel Easement
- Drainage Easement
- Detention Easement

The following standard notes shall be placed on the final plat when the referenced easements are contained on the plat.

**CHANNEL DRAINAGE EASEMENT:**



“Channel drainage easements shall not be obstructed by any permanent or semi-permanent obstruction. This includes, but is not limited to, new trees or shrubs, fences, retaining walls, buildings or other miscellaneous obstructions that interfere with access and egress of maintenance vehicles and equipment or obstruct the flow of water in the channel such that the design conditions are not present. Any permanent or semi-permanent obstruction located in the easement may be removed by personnel representing the City of McPherson to provide for the proper operation and maintenance of the channel without cost or obligation for replacement. Cost of removal and replacement shall be the responsibility of the property owner.”

#### **GENERAL DRAINAGE EASEMENT:**

“Drainage easements are hereby established as shown to provide for the unobstructed overland flow of surface water and/or the construction and maintenance of pipe, flume, ditch, or any or all improvements for the drainage of storm runoff. Property owners shall not place any permanent or semi-permanent obstruction in the drainage easement. All maintenance within the general drainage easement (GDE) shall be the right, duty, and responsibility of the property owner(s) of the property in which the easement is so located, however, if maintenance is neglected or subject to other unusual circumstances and is determined to be a hazard or threat to public safety by the director of the department of public works, corrective maintenance may be performed by the governing jurisdiction with costs assessed to and borne upon said property owner(s). Officials representing the department of public works shall have the right to enter upon the easement for purposes of periodic inspection and/or corrective maintenance.”

#### **DRAINAGE DETENTION FACILITY EASEMENT:**

“Drainage detention facility easements are hereby established as shown to provide for the detention of storm surface water and constructed as approved by the City Engineer. All maintenance within the drainage detention facility easement (DDFE) shall be the right, duty, and responsibility of the property owner(s) of the property in which the easement is so located, however, if maintenance is neglected or subject to other unusual circumstances and is determined to be a hazard or threat to public safety by the director of the department of public works, corrective maintenance may be performed by the governing jurisdiction with costs assessed to a born upon said property owner(s). Officials representing the applicable department of public works shall have the right to enter upon the easement for purposes of periodic inspection and/or corrective maintenance of the facility. Upon receiving written approval from the appropriate department of public works, property owner(s) may construct improvements within the

easement, provided the improvement does not interfere with the function of the detention facility.”

- K. The width of street rights-of-way and any portion thereof being dedicated by the plat as well as the width of any existing right-of-way and the centerline of any adjacent perimeter streets.
- L. The name of each street shown on the subdivision plat including appropriate prefixes and suffixes.
- M. Minimum street side building setback lines. These may be more than, but not less than applicable zoning regulations. The setback should be measured from the existing or proposed street right-of-way, whichever is a greater distance.
- N. Land parcels to be dedicated or reserved for any purpose, public or private, to be distinguished from lots or tracts intended for sale. (See Section 2-102 for definition of RESERVE.)
- O. When deemed desirable, the minimum pad elevation of each lot or parcel of land based on the design criteria of Section 6-104 so that each pad is elevated at least one foot above the 100-year flood elevation. (See Section 2-102 for definition of MINIMUM PAD ELEVATION.) Note: For properties located within the 100-year flood hazard boundary, this pad elevation is the minimum elevation of the lowest floor of the structure, including basement and garage.
- P. Marginal lines encircling the sheet. All information shall be within this margin.
- Q. The following certificates, which may be combined where appropriate: (Certificates requiring a seal should be located near the edge of the plat to facilitate affixing the seal. All names on the plat must also be typed or clearly printed under the signature.)

FINAL PLAT

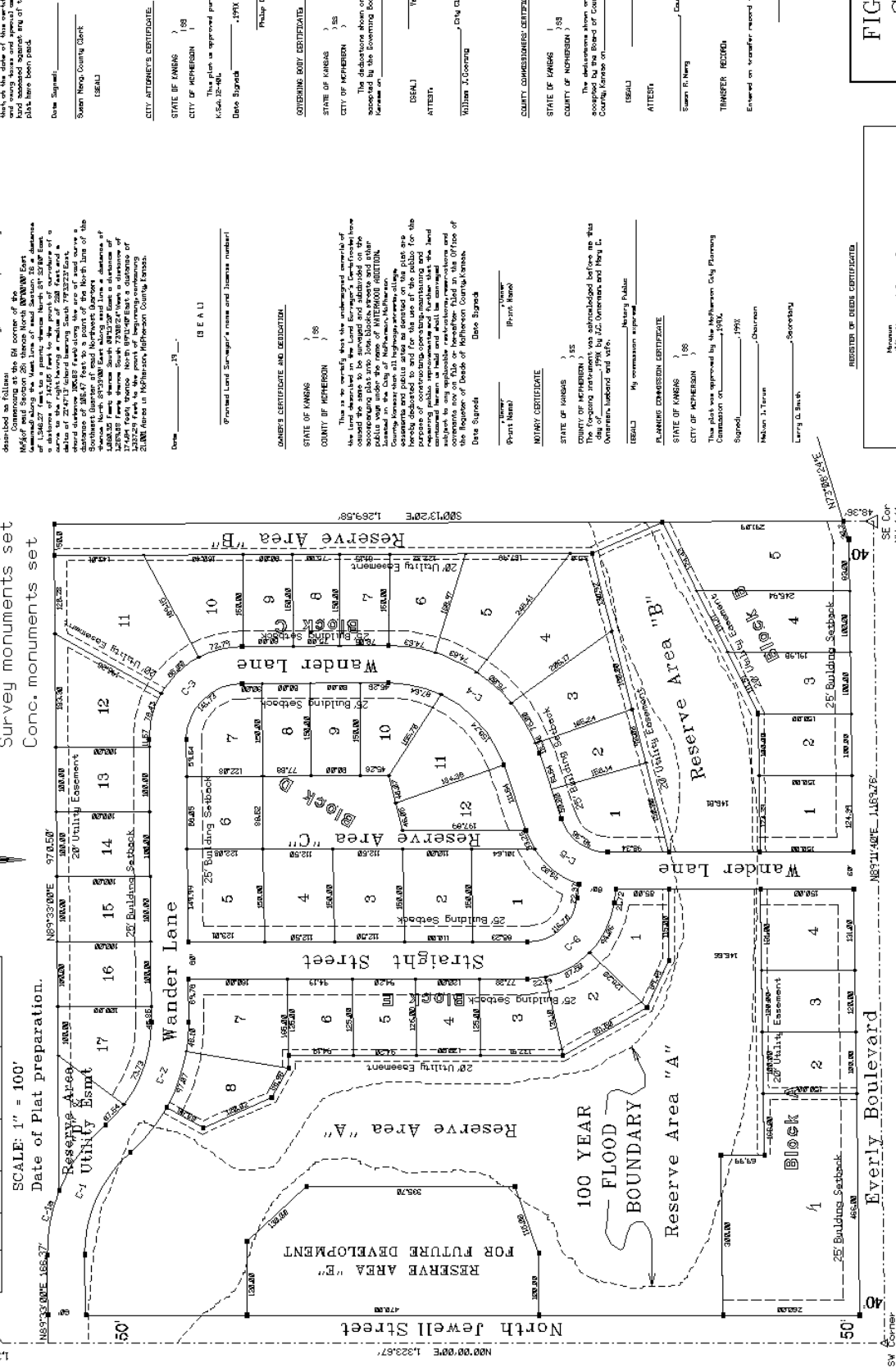
**WATERWOOD ADDITION**  
A subdivision in the NW 1/4 of Section 19,  
Township 25 South, Range 10 West of the 6th P.M.,  
McPherson, McPherson County, Kansas

Curve Data:			
Curve	Rad.	Delta	Chord Dist.

**SCALE: 1" = 100'**  
Date of Plat preparation: \_\_\_\_\_

**Legend:**

- Government Corners
- Survey monuments found
- Survey monuments set
- Conc. monuments set



**BENCHMARK:**  
Railroad spike in power pole at the NW corner of  
Jewell and Everly. Elevation = 1400.00 NSL

SECTIONS 18, 19, 20, 21, 22, 23, 24, 25 shall be considered as one from the  
property line in the street right-of-way along the East  
side of Straight Street, along the South side of Wander  
Lane, along the West side of Jewell Street, the  
subdivisions along Jewell Street

**COUNTY CLERK AND CITY CLERK CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
CITY OF McPHERSON )  
I, the undersigned County Clerk of McPherson County,  
Kansas and City Clerk of the City of McPherson, Kansas,  
do hereby certify that the foregoing instrument is a true and  
correct copy of the original as recorded in my office, and  
that the same is in full compliance with all laws and  
regulations of the State of Kansas and the City of McPherson,  
Kansas. Witness my hand and official seal of office this  
\_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan Nevo County Clerk William J. Cooney City Clerk

**CITY ATTORNEYS CERTIFICATE:**  
STATE OF KANSAS )  
CITY OF McPHERSON )  
I, the undersigned Attorney-at-Law, do hereby certify that the  
foregoing instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Philip C. Long Attorney

**GOVERNING BODY CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
William J. Cooney City Clerk

**COUNTY COMMISSIONERS CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**TRANSFER RECORD:**  
Entered on transfer record No. \_\_\_\_\_ of \_\_\_\_\_, 1998.  
Susan R. Nevo County Clerk

**FIGURE 5-D**  
**SAMPLE**  
**FINAL**  
**PLAT**

**REGISTER OF DEEDS CERTIFICATE:**  
I, the undersigned Register of Deeds for McPherson County,  
Kansas, do hereby certify that the foregoing instrument is a true  
and correct copy of the original as recorded in my office, and  
that the same is in full compliance with all laws and  
regulations of the State of Kansas and the City of McPherson,  
Kansas. Witness my hand and official seal of office this  
\_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Larry G. Smith Secretary

**NOTARY CERTIFICATE:**  
I, the undersigned Notary Public, do hereby certify that the  
foregoing instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
William J. Cooney City Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

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as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

**PLANNING COMMISSION CERTIFICATE:**  
STATE OF KANSAS )  
COUNTY OF McPHERSON )  
The following instrument is a true and correct copy of the original  
as recorded in my office, and that the same is in full compliance  
with all laws and regulations of the State of Kansas and the City  
of McPherson, Kansas. Witness my hand and official seal of  
office this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_  
Susan R. Nevo County Clerk

1. A certificate signed by a licensed land surveyor responsible for the survey and final plat. The surveyor shall not sign the plat until all monuments, irons or bench marks have been set as required by these regulations. Such signature shall be accompanied by the legal description of the land surveyed, the total acreage, the month and year such survey was made and the surveyor's seal. (See Section 7-102J for required monumentation.) This certificate may be in the following form:

**LAND SURVEYOR'S CERTIFICATE AND DESCRIPTION**

I, the undersigned, licensed land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on \_\_\_\_\_, 20\_\_ and the accompanying final plat prepared and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief:

(Legal description, date of survey and acreage. If applicable, reference may be made to indicate that existing public easements and dedications are being vacated according to provisions of K.S.A. 12-512b. [See Section 10-101A1 for provisions of K.S.A. 12-512b.]

Date \_\_\_\_\_, 20\_\_.

[S E A L]

\_\_\_\_\_  
(Printed Land Surveyor's name and license number)

2. Certificate signed and sealed by the official McPherson County Surveyor stating compliance with K.S.A. 58-2005 concerning submittal and review of required minimum survey requirements in the following form:

**COUNTY SURVEYOR'S CERTIFICATE**

STATE OF KANSAS                      )  
  ) SS  
COUNTY OF MCPHERSON            )

This plat has been reviewed and complies with the survey requirements of K.S.A. 58-2005, et. seq.

Signed: \_\_\_\_\_, 20\_\_.

[SEAL]

\_\_\_\_\_  
(Printed name and license number)  
McPherson County Surveyor

3. Certificates signed and acknowledged by all parties having any record or possessory right, title or interest in the land subdivided including mortgagees consenting to the preparation and recording of the subdivision plat; and dedicating all tracts of land shown on the final plat which are intended for public use as highways, streets, alleys, easements and public sites. These certificates may be in the following form:

**OWNER'S CERTIFICATE AND DEDICATION**

**STATE OF KANSAS                 )**  
**) SS**  
**COUNTY OF MCPHERSON        )**

This is to certify that the undersigned owner(s) of the land described in the Land Surveyor's Certificate; have caused the same to be surveyed and subdivided on the accompanying plat into lots, blocks, streets and other public ways under the name of (insert subdivision name); ([an addition to] or [a subdivision in]) the City of McPherson, McPherson County, Kansas; that all highways, streets, alleys, easements and public sites as denoted on the plat are hereby dedicated to and for the use of the public for the purpose of constructing, operating, maintaining and repairing public improvements; and further that the land contained herein is held and shall be conveyed subject to any applicable restrictions, reservations and covenants now on file or hereafter filed in the Office of the Register of Deeds of McPherson County, Kansas.

Date Signed: \_\_\_\_\_ Date Signed: \_\_\_\_\_

\_\_\_\_\_, Owner \_\_\_\_\_, Owner  
(Print Name) (Print Name)

**MORTGAGE HOLDER**

We, (Name of institution and location), by (Name and title of officer), holders of a mortgage on the above described property do hereby consent to the plat of (Name of plat), City of McPherson, McPherson County, Kansas.

\_\_\_\_\_  
(Name of institution and location)

\_\_\_\_\_  
(Printed Name and title)

4. The acknowledgment of a notary in the following form for an individual capacity or modified if a representative capacity:

**NOTARY CERTIFICATE**

STATE OF KANSAS            )  
  ) SS  
COUNTY OF MCPHERSON    )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by \_\_\_\_\_ (Insert Name of Person[s]) \_\_\_\_\_

[S E A L]

\_\_\_\_\_  
Notary Public

My appointment expires: \_\_\_\_\_

5. The certificate of the Planning Commission in the following form:

**PLANNING COMMISSION CERTIFICATE**

STATE OF KANSAS            )  
  ) SS  
CITY OF MCPHERSON        )

This plat was approved by the McPherson City Planning Commission on \_\_\_\_\_, 20\_\_.

Signed \_\_\_\_\_, 20\_\_.

\_\_\_\_\_, Chairperson  
(Print Name)

ATTEST:

\_\_\_\_\_, Secretary  
(Print Name)

6. A certificate in the following form stating that all taxes and special assessments due and payable under the respective jurisdiction of the County Clerk and the City Clerk have been satisfied:

**COUNTY CLERK AND CITY CLERK CERTIFICATE**

STATE OF KANSAS                    )  
 COUNTY OF MCPHERSON        ) SS  
 CITY OF MCPHERSON            )

We, the undersigned, County Clerk of McPherson County, Kansas and City Clerk of the City of McPherson, Kansas, within our respective jurisdictions, do hereby certify that, at the date of this certificate, all currently due and owing taxes and special assessments of any kind assessed against any of the land included in this plat, have been paid.

Date Signed \_\_\_\_\_

Date Signed \_\_\_\_\_

\_\_\_\_\_  
 (Typed Name), County Clerk [SEAL]

\_\_\_\_\_  
 (Typed name), City Clerk [SEAL]

7. If the plat is an addition to the City, i.e., an annexation, a certificate signed by the City Attorney indicating that all conditions of K.S.A. 12-401 have been met: (See Section 5-100A1 for use of the word "Addition.")

**CITY ATTORNEY'S CERTIFICATE**

STATE OF KANSAS                    )  
   ) SS  
 CITY OF MCPHERSON            )

This plat is approved pursuant to the provisions of K.S.A. 12-401.

Date Signed: \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 (Print Name), City Attorney

8. The acceptance of dedications by the Governing Body in the following form:

**GOVERNING BODY CERTIFICATE**

STATE OF KANSAS        )  
                                  ) SS  
CITY OF MCPHERSON    )

The dedications shown on this plat, if any, are hereby accepted by the Governing Body of the City of McPherson, Kansas on \_\_\_\_\_, 20\_\_.

[S E A L]

\_\_\_\_\_  
(Print Name), Mayor

ATTEST:

\_\_\_\_\_  
(Print Name), City Clerk

9. The acceptance of dedications by the Board of County Commissioners for plats outside the City only in the following form:

**COUNTY COMMISSIONERS' CERTIFICATE**

STATE OF KANSAS        )  
                                  ) SS  
COUNTY OF MCPHERSON )

The dedications shown on this plat, if any, are hereby accepted by the Board of County Commissioners, McPherson County, Kansas, on \_\_\_\_\_, 20\_\_.

[S E A L]

\_\_\_\_\_  
(Print Name), Chairman

ATTEST:

\_\_\_\_\_  
(Print Name), County Clerk



10. A place to note the transfer record date of the County Clerk and the recording certificate of the County Register of Deeds. Plats are not entitled to record unless all current real estate taxes and special assessments are paid in full on the land being platted. (See Section 5-101R1 for title report.)

**TRANSFER RECORD**

Entered on transfer record this \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
(Print Name) , County Clerk

**REGISTER OF DEED'S CERTIFICATE**

11. (Reserve a space at least 4 ½ inches long and 2 inches wide for the Register of Deeds stamp.)

Whenever the subdivider's agreement and any restrictive covenants are recorded prior to or concurrently with the final plat, the book and page numbers where they are recorded shall be noted on the plat for reference purposes.

12. A certificate in the following form signed by the McPherson County Engineer which certifies that for improvements, which may be required by these regulations for subdivisions outside the City and not otherwise under the responsibility of City officials, satisfactory arrangements have been made where necessary to provide engineering standards, construction drawings and appropriate assurances to guarantee their installations:

**CERTIFICATE AS TO COUNTY PUBLIC IMPROVEMENTS**

STATE OF KANSAS                     )  
   ) S.S.  
COUNTY OF MCPHERSON             )

I, the undersigned, do hereby certify that the required guarantees are posted for the completion of improvements covering (Note: Insert list of improvements required) pertaining to the subject plat and not under other Federal, State or City completion obligations; which are based on a licensed engineer's plans and specifications; and which are approved by all public authorities having jurisdiction.

Signed \_\_\_\_\_, 20\_\_.

[S E A L]

\_\_\_\_\_  
(Type Name), McPherson County Engineer

13. Subdivisions which lie outside the City limits for which requests have been made for the extension of one or more City utility services shall agree to a waiver of protest of potential future annexation by a statement reading "*Owners of lands within this subdivision do hereby bind themselves to waive any protest to annexation by the City of McPherson, Kansas,*" which shall be shown on the final plat and included in restrictive covenants of the subdivision. When such an agreement is contained in such restrictive covenants and filed by the City with the County Register of Deeds within 30 days after being executed by all parties, it shall be deemed to be sufficient consent to annexation under K.S.A. 12-520, as amended, to bind the owner(s) of the land to be subdivided and any successors in interest. (See Section 5-101R3 for restrictive covenants.)
14. Provision for all other certifications, approvals and acceptances which are now, or which may hereafter be, required by any statute, ordinance or regulation. The form of these certifications may be modified as necessary by the City's legal counsel to meet statutory or other requirements.

R. The following additional information shall be submitted with the final plat:

1. A title report by an abstract or a title insurance company, or an attorney's opinion of title, showing the owner of the land and all other persons who have an interest therein and describing any encumbrances on the plat, including such items as rights-of-way, easements, pipelines, leases, mineral rights, mortgages, real estate taxes, special assessments and other encumbrances affecting the ownership. (See Section 5-101Q8 on payment of real estate taxes and special assessments before recording.)
2. Unless deemed not necessary by the Public Works Director, a final drainage report based on the standards and policies set by the applicable jurisdiction. (Within the City refer to the adopted "*Stormwater Management Policies and Design Criteria for the City of McPherson, Kansas.*" Copies of this document are available from the City Public Works Department or may be downloaded from the City website at: [www.mcpcity.com](http://www.mcpcity.com).)
3. A copy, if any, of restrictive covenants applicable to the subdivision. As a service to the subdivider, such restrictions may be reviewed by the Planning Commission and other officials to determine if any potential conflicts exist with the City's laws. If the condition exists for outside the City utility service as described in Section 5-101Q9, then restrictive covenants must be submitted for review of the annexation waiver provisions.